



ARCHITECTURAL DESIGN STATEMENT
(Including Urban Design Manual Statement of Consistency)

PROPOSED AMENDMENTS TO APPROVED STRATEGIC HOUSING DEVELOPMENT
AT GRANGE END, DUNSHAUGHLIN, COUNTY MEATH



Applicant: Loughglynn Developments Limited

Doc. Ref. 24020-PL-DS
Prepared by Ivan O'Daly, MRIA
February 2025

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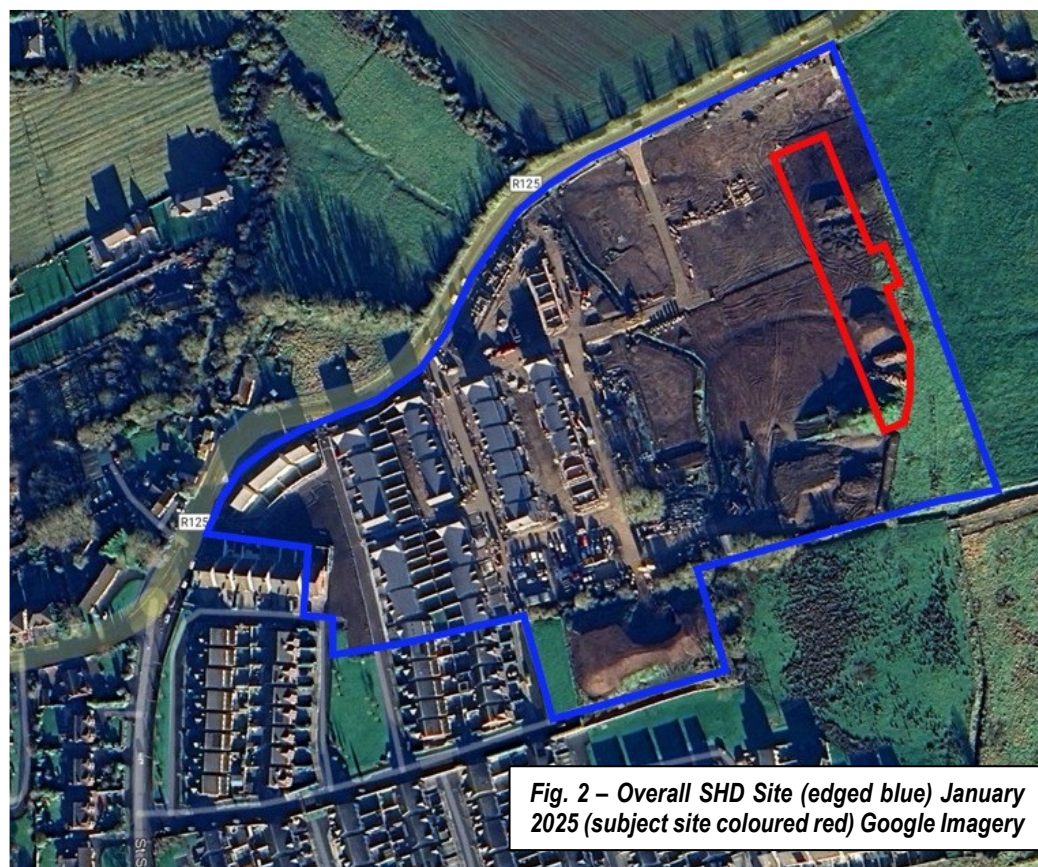
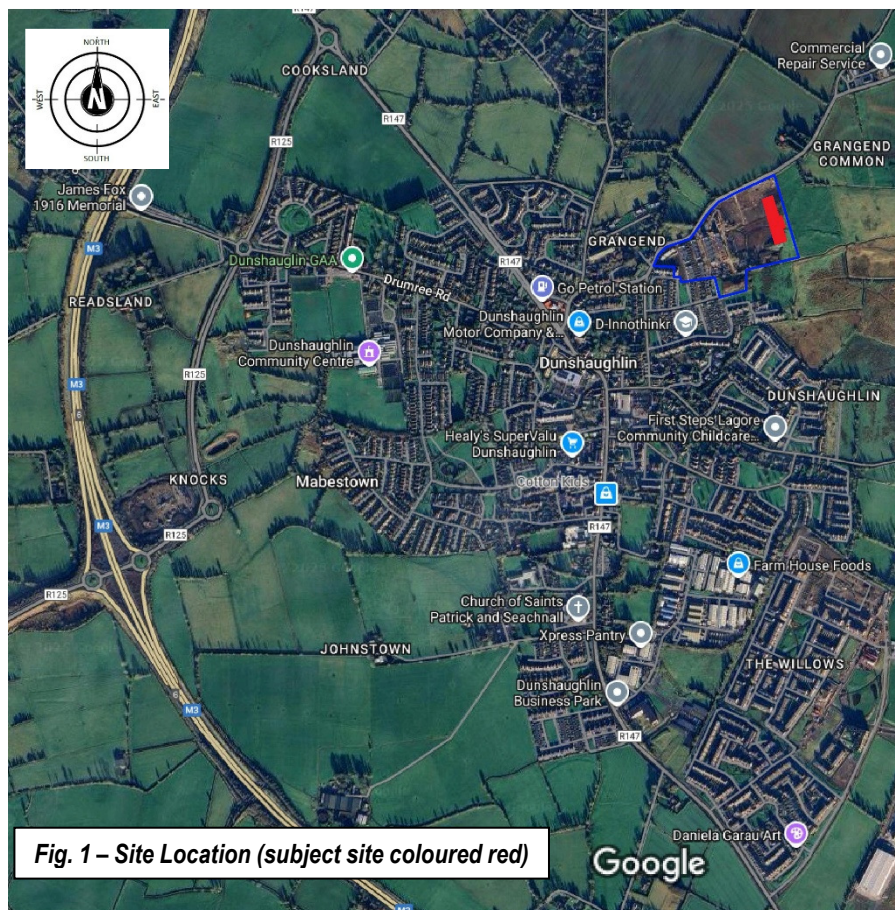
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1.0 Introduction

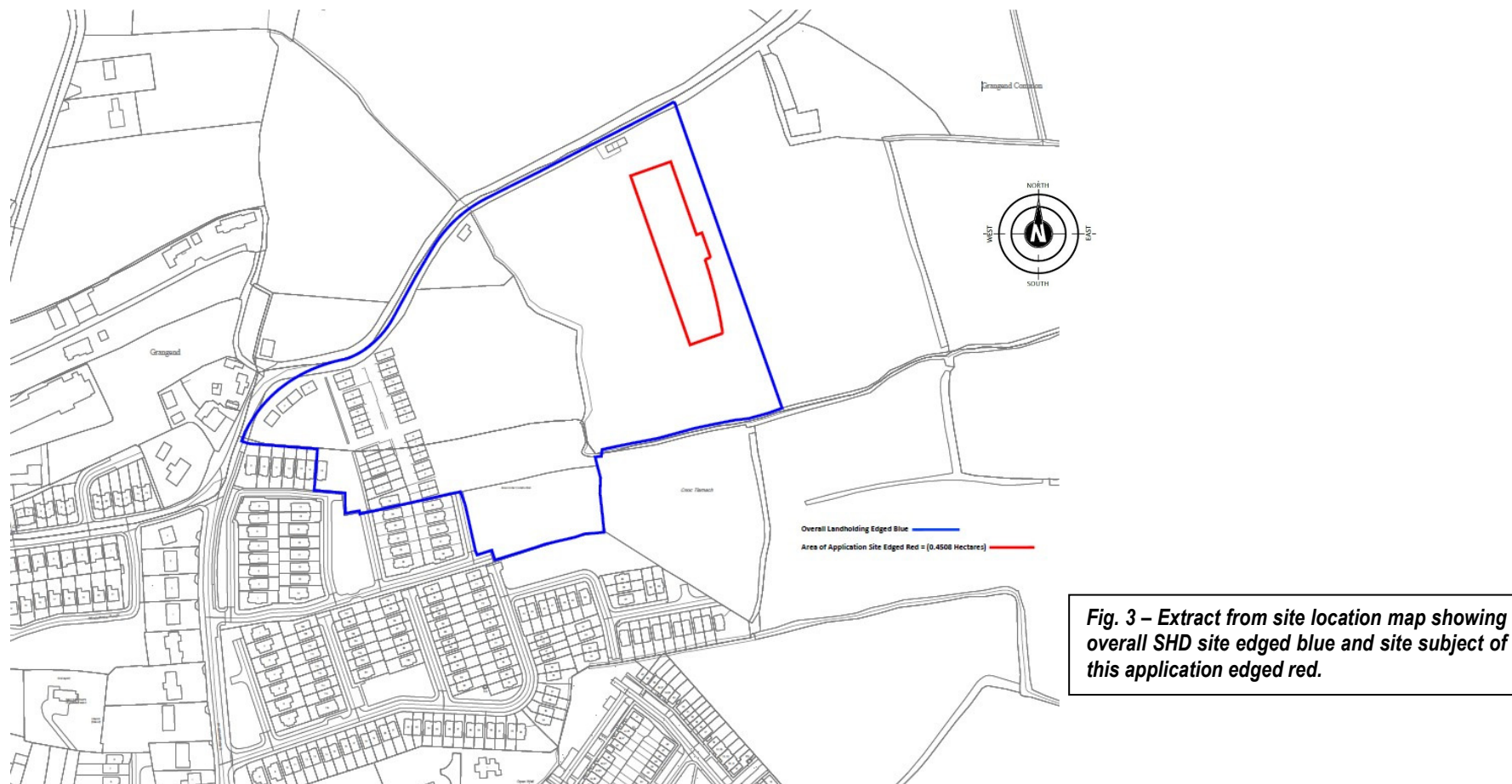
This design statement had been prepared in support of a proposal by Loughglynn Developments Limited for an amendment to extant SHD Permission, Ref: ABP-307244-20, granted for 211 no. residential units and a creche at Grange End, Dunshaughlin, County Meath.

1.1 Site Location & Description

The subject site (coloured / outlined red in Fig.'s 1 & 2) is located on the North-East edge of Dunshaughlin town (approx. 400m from the town centre) and to the South of the R125 (Ratoath Road).



The subject site which has an area of 0.4508 hectares (shown edged red on Fig. 3 below) is part of and located near to the Eastern boundary of an overall approved (ref. ABP-307244-20) SHD development site (shown edged blue on Fig. 3 below) that is under construction by the applicant.



The overall SHD is currently under construction, at the time of preparing this statement, 37 no. houses have been fully completed with a further 33 no. houses at an advanced stage of construction and the remaining 42 approved houses have been commenced along with apartment block “F” (18 no. two-bedroom units). The creche will be commenced in the coming weeks.

The overall SHD site is bounded to the North and West by the R125 Dunshaughlin-Ratoath Road and to the South & South-West by a housing development (constructed by the applicant) known as “Grange Park”. To the South of Grange Park is another residential development known as “Cnoc Tiarnach”. There are agricultural lands to the East and a foul sewer pumping station. The R125 is currently being realigned as part of the SHD development works.

An existing drainage channel that ran North-South through the centre of the site is currently being realigned as part of the SHD development works.

The gross site area of the overall SHD site was 7.907 hectares with a net development site area of 5.808 hectares (the net development site area for the overall SHD site is quoted here as it is relevant to the revised density and open space calculations for the development now proposed).

In terms of topography, the overall SHD site levels fall from West to East, approximately 10m of a fall over 400m.

1.2 Applicant

The applicant, Loughglynn Developments Ltd., is a Meath based development company owned by the Hora Family who also operate as Hora Developments Limited and Hora Homes. The Hora family have been building quality developments in Meath and surrounding counties since the 1970's (now a second-generation developer) and is in the business of bringing to market, quality family homes for owner occupiers. It is a long-held company policy not to sell to investors.

Over the past 10 years, the applicant has completed a number of developments around County Meath, in Dunshaughlin, Seachnall Abbey (53 Units), Hanson Wood (28 units), Grange Park (32 units) Castle Court apartments (8 units), in Trim, Effernock Grove (30 units) and Effernock Woods (13 units). In Athboy, the applicant recently completed the Castletown Manor development (80 units plus a creche) and is currently well-advanced with a 51 unit development known as Langford Park in Summerhill.



Fig. 4 – Housing constructed at Seachnall Abbey, Dunshaughlin



Fig. 5 – Housing constructed at Seachnall Abbey, Dunshaughlin



Fig. 6 – Housing constructed at Hanson Wood, Dunshaughlin



Fig. 7 – Housing constructed at Grange Park, Dunshaughlin

The applicant is on-site at Grange End and construction of the SHD development approved under ABP-307244-20 is well advanced, as outlined later herein.

1.3 Design Team

The overall previously approved development was designed by a multi-discipline design team. The same design team members (disciplines that apply this planning application) have been retained to prepare the design for the amendments now proposed.

The Design Team members are:

Client_____Loughglynn Developments Ltd.

Planning Consultant_____McGill Planning Consultants

Architects_____O'Daly Architects

Civil, Services, Structural, Traffic & Flood Risk_____Waterman Moylan Consulting Engineers

Landscaping_____Jane McCorkell, Landscape Architect

Ecology and Environmental_____Whitehill Environmental

Public Lighting_____Coffey Consulting Engineering

2.0 Site Analysis

2.1 Development Plan & Zoning

The operative Development Plan is the Meath County Development Plan 2021 – 2027 [hereinafter referred to as the “Development Plan”]. The subject site (edged red on Fig. 8) is zoned “A1” – Existing Residential, as is the rest of the SHD development site (shown edged blue)

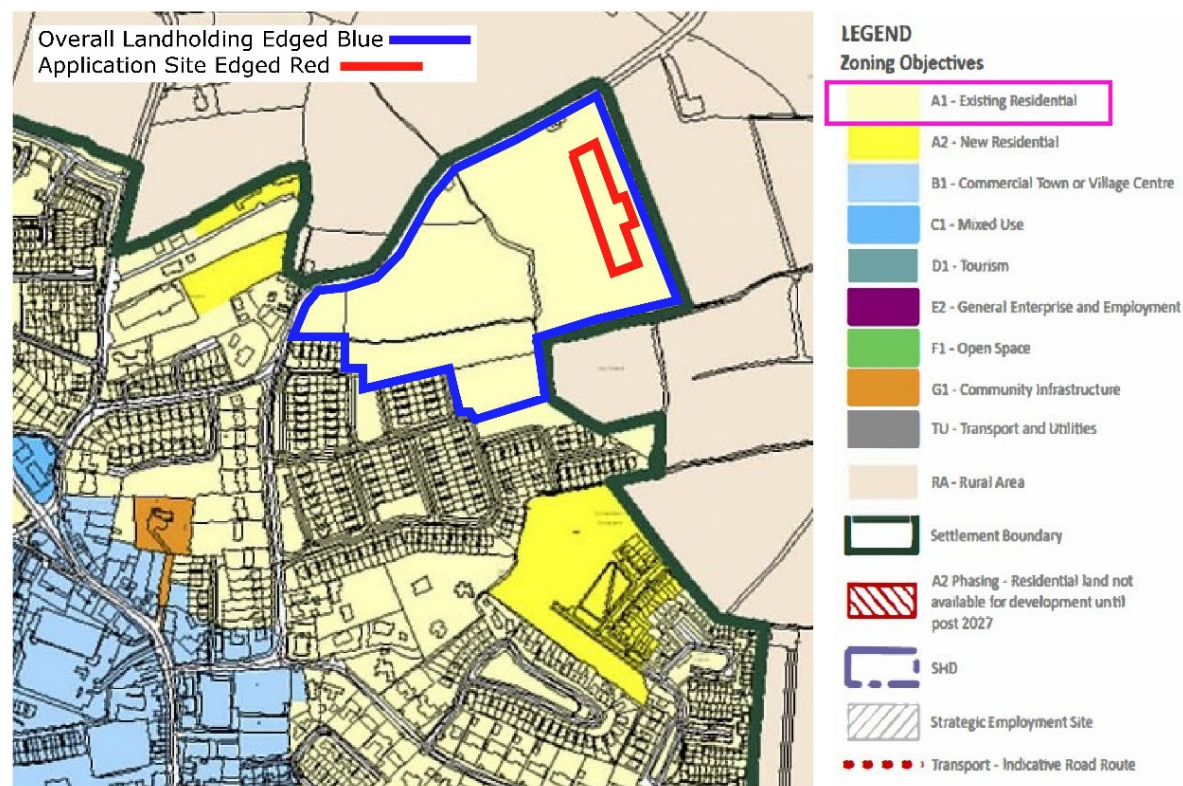


Fig. 8 - Land Use Zoning Objectives from Development Plan (subject site edged red)

2.2 Transport

There are no Transport Objectives on or in the vicinity of the subject site according to the Dunshaughlin Land Use Zoning Map (see Fig. 8 above). The R125 (Ratoath Road) is currently being realigned along the Northern and North-Western boundaries of the overall SHD site in accordance with the SHD planning permission (ref. ABP-307244-20) and in consultation with the Transport Department, Meath County Council.

2.3 Cultural & Natural Heritage:

There are no Objectives or protected structures on or in the vicinity of the subject site according to the Dunshaughlin Cultural and Natural Heritage Map (Sheet No: 14 b-1) in the Meath County Development Plan.

2.4 Archaeology

On-going archaeological monitoring of excavation works is being carried out on site in compliance with the requirements of condition no. 27 attached to planning permission ABP-307244-20. Dominic Delany & Associates of Unit 3, Howley Court, Oranmore, Co. Galway are the retained Archaeological Consultants.

2.5 Appropriate Assessment / Natura Impact

The subject site is neither within nor close to a Natura 2000 site. The retained Ecological Consultants have screened the amendments now proposed to the approved SHD development and updated AA Screening and Natura Impact Statement have been prepared and included with this planning application.

2.6 Flood Risk

The subject site is not in a designated Flood Zone. There is a flood zone identified to the South-East of the overall SHD site and a Site-Specific Flood Risk Assessment was submitted with the main SHD application for which planning permission was granted under ref. ABP-307244-20. The amendments now proposed have been evaluated by the retained Consultant Engineers, Waterman Moylan and their assessment / findings are set down in their Flood Risk Assessment at Section 7 of their Engineering Assessment Report included with this planning application.

2.7 Piped Services

Uisce Eireann have agreed to provide foul sewer and water supply connections to the full 211 units approved under planning permission ABP-307244-20. The amendments now proposed will result in a reduction of units and therefore no capacity issue arise. Please also refer to Sections 3 and 5 in the Engineering Assessment Report prepared by Waterman Moylan Consulting Engineers and included with this planning application.

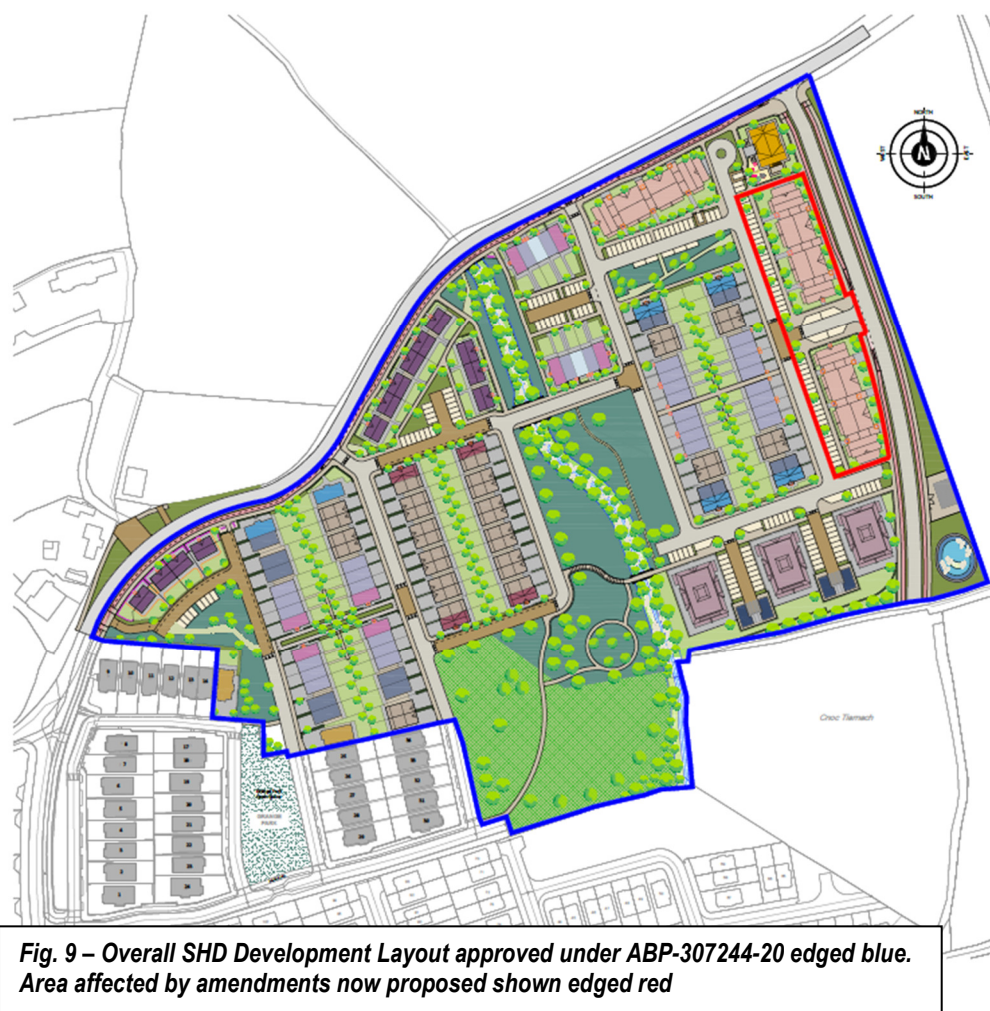
2.8 Surface Water

The amendments now proposed will reduce the impermeable / hardstanding areas previously approved and designed for. Please also refer to Section 4 in the Engineering Assessment Report prepared by Waterman Moylan Consulting Engineers and included with this planning application.

3.0 Previously Approved Development & Proposed Amendments to Approved Development

3.1 Previously Approved Development

An SHD permission was issued to the applicant on the 15th day of September 2020 under planning reference number ABP-307244-20 for:



(1) demolition of two no. derelict buildings (former houses) at the Northern boundary of the site, (2) construction of 212 no. dwellings comprising 113 no. two storey houses comprising 21 no. four-bed and 92 no. three-bed, 99 no. apartments in 6 no. three to four-storey blocks comprising 6 no. one-bed, 90 no. two-bed and 3 no. three-bed, (3) all with associated private gardens/balconies/terraces to the North/South/East/West elevations, (4) construction of a creche (circa. 396.22m²), (5) construction of a circa 250-metre section of the Dunshaughlin (East) main distributor road, (6) construction of a new verge, path and cycle lane along the R125 with the road realigned to create a new street, (7) provision of vehicular entrances from the R125, with additional vehicular access from the new distributor road to the East, and also from the existing Grange Park residential development to the South, (8) provision of 362 no. car parking spaces and 264 no. secure bike parking spaces, (9) provision of open spaces including a new civic park, (10) all associated site development and services connections including bin stores, electricity supply board substations, boundary treatment works, realignment of existing stream through the site and associated site works and landscaping.

Condition 2(a) attached to the planning permission omitted 1 no. house from the development, reducing the overall number of units approved to 211 from the 212 applied for.

Fig. 9 shows the overall development layout previously approved under ABP-307244-20 (edged blue). The area with previously approved 2 no. apartment blocks that it is now proposed to change to housing is shown edged red. See also Architects drawing no. 21006-CMP-100 included with this planning application.

Fig. 9 – Overall SHD Development Layout approved under ABP-307244-20 edged blue. Area affected by amendments now proposed shown edged red



Fig. 10 shows in larger scale, the previously approved 2 no. apartment blocks (D & E) that it is now proposed to change to housing within the subject site area shown edged red. See also Architects drawing no. 21006-CMP-102 included with this planning application.

No amendments are proposed to the approved SHD development outside the red line boundary. There are no areas of approved public open space located within the red line boundary.

**Fig. 10 – Extract of Approved Overall SHD Development Layout.
Area affected by amendments now proposed shown edged red.**

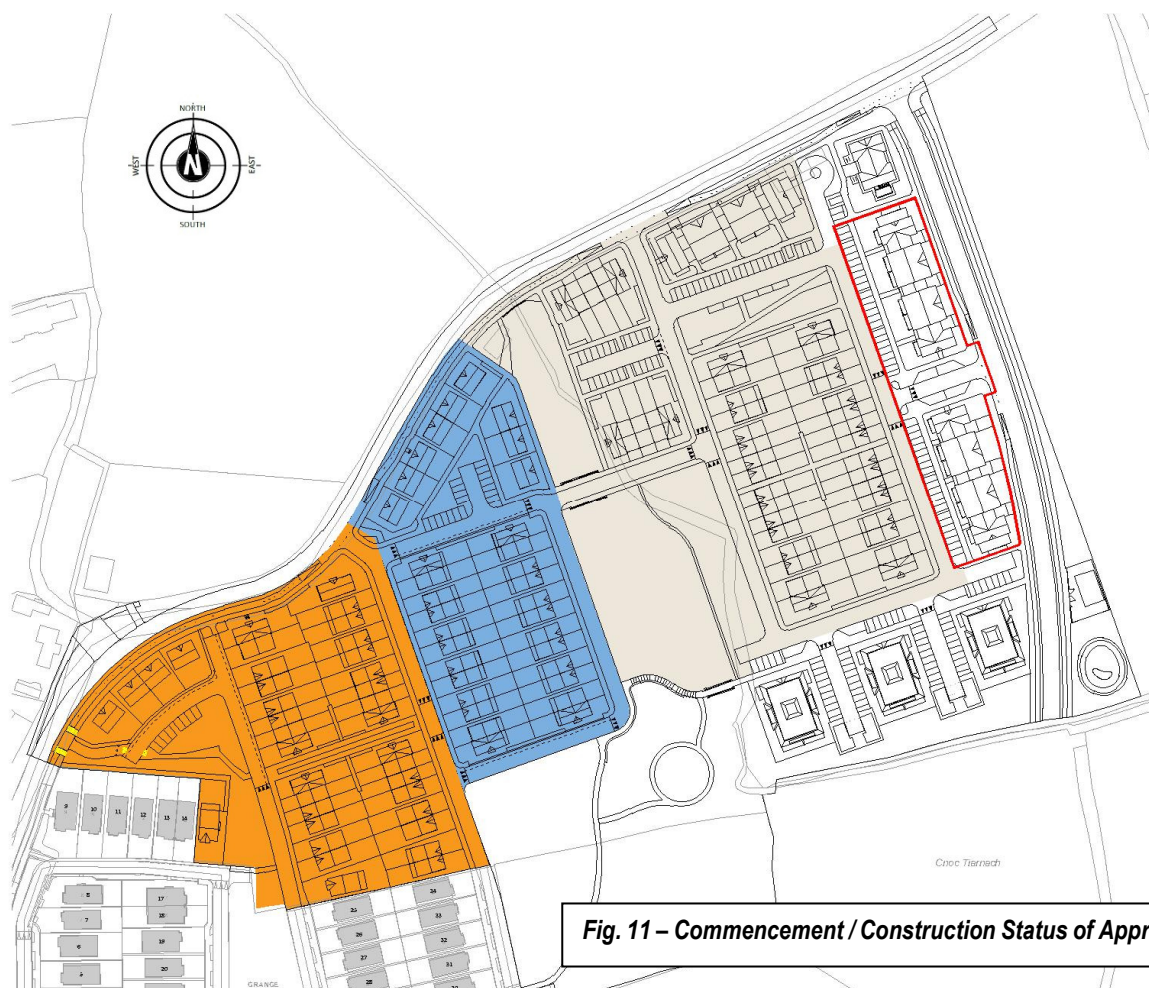


Fig. 11 shows in the commencement / construction status of the approved development to date.

Orange coloured area is complete with most units now occupied (37 no. units total).

Blue coloured area is at an advanced stage of construction with units due for completion / occupation in April 2025 (33 no. units total).

Beige coloured area has been commenced and construction is underway (42 no. houses and 18 no. apartments).

White areas have not yet been commenced.

Area affected by the amendments now proposed is shown edged red.

Fig. 11 – Commencement / Construction Status of Approved Development to date.

3.2 Proposed Amendments to Approved Development

In essence, the proposed amendments consist of the replacement of 2 no. previously approved three-storey apartment blocks (total of 36 no. apartments) with 15 no. terraced dwelling houses. The formal development description for what is proposed is as follows;

“The proposed Large Scale Residential Development (LRD) will consist of amendments to the Strategic Housing Development (SHD) permitted on site under Ref. ABP-307244-20 for 211 no. residential units (112 no. two storey houses and 99 no. apartments in 6 no. blocks), creche and associated works. This amendment application seeks to omit permitted apartment Blocks D and E (comprising 36 no. units) and replace with 15 no. 3 bed houses, resulting in a revised residential development of 190 units in total. Omission of permitted access road from the permitted Distributor Road to the east and associated amendments to residential car parking and provision of additional open spaces. All other site works including boundary treatments, landscaping and site services to facilitate development. The remainder of the development to be carried out in accordance with the parent permission Ref. ABP-307244-20.”



Fig. 12 shows the overall development layout previously approved under ABP-307244-20 (edged blue). It also shows the proposed houses to replace approved apartment blocks within the area edged red. See also Architects drawing no. 2024-PL-100 included with this planning application.

Fig. 12 – Overall SHD Development Layout approved under ABP-307244-20 edged blue. Proposed amendments shown within area edged red



Fig. 13 shows in larger scale, the proposed housing to replace previously approved apartment blocks D & E within the subject site area shown edged red. See also Architects drawing no. 24020-PL-102 included with this planning application.

No amendments are proposed to the approved SHD development outside the red line boundary. There are no areas of approved public open space located within the red line boundary. There is a new area of public open space proposed centrally within the proposed housing layout that will enhance and increase the overall public open space provision for the overall development.

The subject site is bounded to the East by the previously approved section of distributor road and to the West by an internal circulation road now known “Grange Park Drive”. The proposed houses, if approved will become no.’s 17 – 31 Grange Park Drive.

The overall design approach is set out in more detail at Section 4 of this design statement, however, the following fundamental layout principles are highlighted:

- Due to the location of the subject site between two roads, the design has provided for dual frontage units at each end of each proposed terrace to ensure active and attractive live elevations to all public sides / streetscapes.
- A new central “pocket park” public open space has been provided between two opposing terraces as a functional local open space and a very attractive pedestrian / cyclist-permeable feature linking the internal path network to the previously approved external path and cycle network.
- There are less on-street car parking spaces required to serve the reduced number of units now proposed and therefore more streetscape landscaping can be accommodated in addition to reservation strips for future provision of EV charging units.

Fig. 13 – Extract of Site Layout Plan.
Proposed housing / amendments shown within area edged red

3.3 Design Guidance & Urban Design Standards

In addition to the respecting the context within a larger overall development and the design approach for same, the requirements of the Meath County Development Plan 2021 – 2027 and the numerous Design Guidance Documents published by the Departments of the Environment / Transport, have been taken into account in the preparation of the amended design, including, but not limited to;

- Sustainable Residential Development and Compact Settlements (2024)
- Development Management Standards, Meath County Development Plan 2021 – 2027
- Urban Design Manual – A Best Practice Guide (2009)
- Design Manual for Urban Roads and Streets (2013)
- Quality Housing for Sustainable Communities (2007)
- Building Regulations - particularly Part L (Conservation of Fuel and Energy) & Part M (Access and Use)

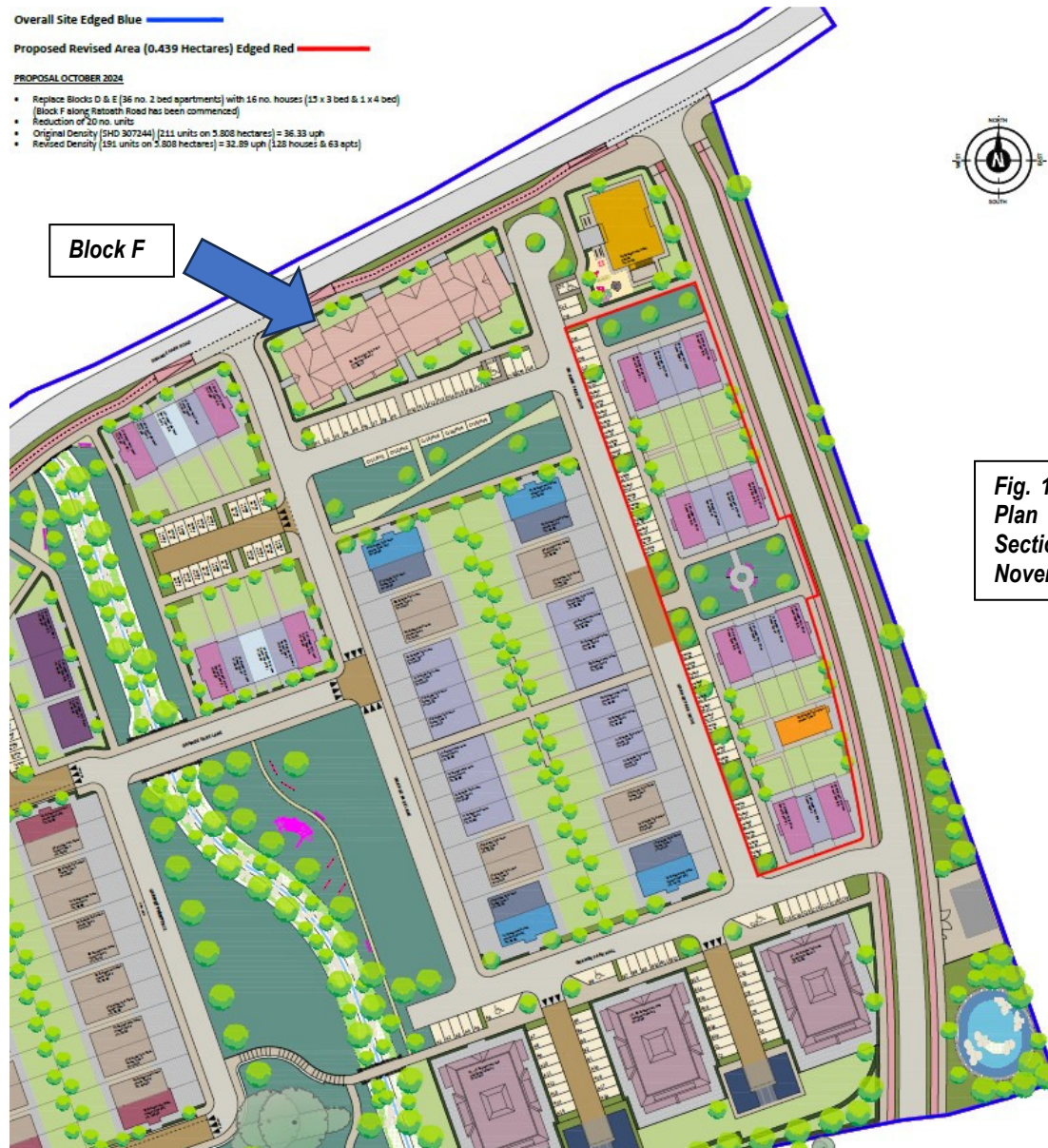


Fig. 14 – Extract of Site Layout Plan submitted for first Section 247 meeting in November 2023

3.4 Preplanning Comments and Design Responses

A preliminary Section 247 preplanning meeting in relation to the proposed amendments took place at the offices of Meath County Council on the 20/11/2023. The proposal at that time was to change 3 no. previously approved apartment blocks (D, E & F) accommodating a total of 54 no. apartments to 25 no. houses, an overall reduction of 29 no. units, see Fig 14. The Planning Authority stated that the reduction in units from 212 to 183 was too significant. It was suggested by the Planning Authority that the applicant and the design team should consider keeping at least one of the apartment blocks proposed for replacement, to lessen the overall reduction in unit numbers.

Following a review, the applicant decided to proceed with the construction of previously approved apartment block F which fronted onto the R125 at the Northern boundary of the overall site (development has now commenced).



A second Section 247 preplanning meeting took place (online) on the 06/11/2024 to review a revised proposal for the replacement of previously approved apartment blocks D & E (a total of 36 no. units) with 16 no. dwelling houses with a resultant reduction in units from 212 to 191, see Fig 15.

The Planning Authority stated that the revised proposal at an overall development density of between 32 and 33 dph was within the applicable density range of 30 – 50 dph specified in the Sustainable Residential Development and Compact Settlements Guidelines 2024.

Fig. 15 – Extract of Site Layout Plan submitted for second Section 247 meeting in November 2024.

The following items (per minutes of the second section 247 preplanning meeting) were raised by the Planning Authority to be addressed in the design and preparation of the application;

- 1. *Dual frontage units / corner activation – passive surveillance of paths / bookends with increased height at ends of each cell.***
Dual frontage units have been provided at each end of each terrace of housing with corner activation, fenestration to habitable rooms providing passive surveillance of paths and book ends with increased height (3 storey gable) at ends of each cell / terrace, see images in CGI pack.
- 2. *Justification for change of units / mix***
The applicant has a long-held policy of not selling to investors. All homes the applicant sells (except Part V provision) are to owner-occupiers. There are no bulk sales to Approved Housing Bodies or Institutional Investors. This sets the applicant apart from many of the larger house builders. In the current market, the applicant is confident that there is just about sufficient owner-occupier demand for the 45 no. apartments to be built in blocks A, B and C already approved. Block F (18 no. apartments) on which construction has commenced is being supplied to the Local Authority as the majority of the Part V provision for the overall development. However, there is not sufficient owner-occupier demand for a further 36 no. apartments. There does exist however, significant owner-occupier demand for three-bedroom houses of all sizes and it is for this reason that the amendment application is being made for the change of units and mix.
- 3. *Submit a Housing Quality Assessment for proposed housing***
A Housing Quality Assessment has been prepared and is included with the planning documents being submitted.
- 4. *Demonstrate changes to plot ratio/site coverage, building heights, character areas and that boundary treatments and landscaping would be consistent with approved SHD development and other Development Plan Development Management Standards.***
Section 5 of this design statement demonstrates compliance with the Development Management Standards applicable to residential development as set out at Chapter 11 of the Meath County Development Plan. It is confirmed that the boundary treatments and landscaping specifications are consistent with those already used in the approved SHD development, see landscaping plan included with this planning application and details relating to boundary treatments set out at pages 18 and 19 later in this design statement.
- 4. *Provide CGIs of proposed amendments / development.***
CGI's are included within this design statement where considered useful for explanation but a CGI pack including all images prepared and a layout identifying where each view is located is included with this planning application.
- 5. *EV charging provisions and demonstrate that creche parking not affected / reduced by proposed amendments.***
Each house provided with in-curtilage car parking will be pre-wired for future fitting of EV chargers. The 24 no. on-street parking spaces serving the remaining 12 no. houses will be provided with wiring and ducting to be capable of accommodating future Electric Vehicle charging points, at the rate of 20% of total space

numbers (i.e. 5 no. spaces) in accordance with DM OBJ 94. 2 no. reservation strips have been provided on each side of every 4 no. parking spaces for this purpose as shown coloured orange on site layout plan, drawing no. 24020-PL-102.

In regard to the creche, the number of spaces approved under ABP-307244-20 are not affected (15 no. spaces with 5 no. drop off spaces shared as visitor spaces for apartment block F) and are shown on site layout plan, drawing no. 24020-PL-102, creche parking spaces have a “Cr” prefix. The original location of spaces Cr4, Cr5, Cr6 and Cr7 had to be altered slightly to accommodate the proposed amended design which is why they are included within the red line boundary for this application.

6. *Outline proposals for cycle parking for terraced houses*

Each house has a private, ground level open space and therefore, in accordance with SPPR 4 - Cycle Parking and Storage, Sustainable Residential Development and Compact Settlements Guidelines 2024, does not require cycle storage spaces.

7. *Bins and bicycle stores recommended to front of terraced houses, possibly constructed of brick and covered. Proliferation of bins along the Eastern access road would not be permitted, remove individual doorways to rear gardens along the eastern access road.*

The site layout presented to the Section 247 preplanning meeting had doors providing access to individual mid terraced gardens (for bike, bin storage, access, etc.) to the public paths on both the East side (previously approved distributor road) and the West side (internal road – Grange Park Drive). Notwithstanding the high quality of boundary treatment / design, the Planning Authority indicated that doors / accesses would not be permitted along the Eastern side (previously approved distributor road).

The doors to the Eastern side have now been removed, see Fig. 16.

All mid terrace gardens are accessed from the Western (internal side). See Fig. 17 and site layout plan on drawing no. 24020-PL-102. Based on the individual context and merits of this particular layout with a maximum of 2 no. gardens are accessed from one door, it is considered to offer owner-occupiers of mid-terrace houses greater access and flexibility and helps maintain active street edges to front elevations without physical / visual barriers such as permanent bin stores between building lines and the street, in accordance with guidance at Section 4.2.3 of DMURS.

8. *Detached house presented at meeting had a 16 no. house layout including a detached house in the lower cell, it was considered that this unit was not appropriate in location proposed and should be removed.*

The site layout presented to the Section 247 preplanning meeting was for a total of 16 no. houses including a detached house in the lower cell (Southern end of subject site). This detached house was removed (this proposal is now for 15 no. houses) and allowed enough space to provide in-curtilage parking to proposed houses 17 – 19 Grange Park Drive.



KEY

- A** Planting to recess to Landscape Architect's specification and detail
- B** Natural stone cladding to public side of boundary wall
- C** Door access to end-terrace gardens
- D** Pleached trees with foliage above wall to Landscape Architect's specification and detail

Fig. 16 – Proposed boundary treatment between dual frontage house private gardens and Eastern side of subject site (facing to previously approved distributor road). There are no mid-terrace garden access doors proposed on this side in accordance with preplanning guidance.



KEY

- A** Planting to recess to Landscape Architect's specification and detail
- B** Natural stone cladding to public side of boundary wall
- C** Door access to mid-terrace gardens
- D** Pleached trees with foliage above wall to Landscape Architect's specification and detail

Fig. 17 – Proposed boundary treatment between dual frontage house private gardens and Western side of subject site (facing into scheme). Mid-terrace garden access doors are proposed on this side (each door only serves max. 2 gardens).

4.0 URBAN DESIGN MANUAL – A BEST PRACTICE GUIDE

The Urban Design Manual – A Best Practice Guide, published in May 2009 by the Department of Environment, Heritage and Local Government sets out 12 criteria to guide and assess designs for new residential development in urban areas. The 12 criteria are categorised under three headings, Neighbourhood, Site and Home.



Diagram from the Urban Design Manual
Outlining the “12 Criteria”

This section of the Design Statement has been laid out in the same format and quotes the 12 criteria set down in the Urban Design Manual, to facilitate ease of reference and to clearly demonstrate how the guidance has been applied to the design of the proposed development.

NEIGHBOURHOOD

01. CONTEXT

The subject site is part of an overall development that was granted planning permission and construction is well underway. By virtue of the development receiving planning permission, the design for the overall development has already been accepted as responding to and integrating with the surrounding context.

The revised proposal for the subject site does not affect the approved road, cycle, path and open space network and does not in any way substantially alter or detract from how the overall development sits within the local context. Attractive, live elevations are presented to all public areas both within the overall development and looking out from it. The proposed housing design and the materials / finishes palette are consistent with those already permitted in Character Area 2 of the overall development.

02. CONNECTIONS

The overall development as already approved is creating excellent pedestrian and cyclist connections around and through the scheme to the greater public networks serving Dunshaughlin.

The housing now proposed in place of previously approved apartment blocks does not significantly alter the road, paths and cycle lanes being put in place as part of the overall development, so all previous pedestrian and cyclist connections are unaffected. A vehicular entry to the previously approved distributor road to the East will be omitted as part of the development, this area now becoming a new pocket park public open space that preserves pedestrian and cyclist connections at this location.

03. INCLUSIVITY

The proposed development and the overall development of which it forms part have been designed to facilitate movement for all users and comply with Part M of the Building Regulations.

Public open space is conveniently located and easily accessible from all proposed houses and is overlooked / passively surveilled by housing. The previously approved and proposed areas of public open space will serve the needs of new residents of different ages and private open space is provided by way of private gardens to houses which all exceed minimum requirements.

The houses have been designed to be adaptable to many needs. For example, houses are provided with a large kitchen / dining room to the rear which can also accommodate a modest living space with a separate living room to the front of the houses which can be readily re-tasked as a ground floor bedroom without needing structural adaptation.

Boundary treatments, as is the case with the approved overall development, have been carefully considered in the design of the amendments now proposed. Proposed front garden boundary treatments comprise low railings and hedgerows which provide an attractive, organic feeling where housing adjoins the public realm. The nature of the low railings, whilst defining boundaries, is not a significant visual barrier. Continuing the design approach already approved for the overall development, where private open space bounds the public realm, landscaped recesses have been provided, bounded by stone walls, to continue an attractive aspect for passers-by whilst also protecting the privacy of residents. Additionally, in the case of the housing now proposed, pleached tree planting is also proposed behind stone boundary walls to give additional height of boundary in an attractive way along public paths, see Figs. 16 & 17 earlier herein and Fig. 18 below. Dual frontage dwellings have been provided in all cases at the end of streets to ensure active frontage is presented to the public realm at all times, providing attractive, positive aspect and passive supervision. Proposed houses are located close to public paths to create strong, attractive street frontages with modest defensible areas to balance the creation of streetscapes with privacy for residents, per DMURS guidance.



Fig. 18 – CGI showing high-quality boundary treatment (stone wall and landscaping) where private gardens bound public spaces / paths.

04. VARIETY

The overall approved development provided for an excellent mix and variety of units. The houses now proposed comprise two different three-bedroom house types, a large dual frontage house type (8 no.) with convertible attic space and internal floor area of 121.76m² and a mid-terrace house type (7 no.) with internal floor area of 110.64m².

The overall mix including approved development and the amendments now proposed is as follows;

- 6 no. 1 bedroom apartments
- 54 no. 2 bedroom apartments (3 different apartment types)
- 3 no. 3 bedroom apartments
Total of 63 no. apartments
- 106 no. 3 bedroom houses (6 different house types ranging from 110.64m² up to 133.36m², most with convertible attics)
- 21 no. 4 bedroom houses (4 different house types)
Total of 127 no. houses.

SITE

05. EFFICIENCY

Dunshaughlin is designated as a “Self-Sustaining Growth Town” in the Regional, Spatial and Economic Strategies (RSES) and the Meath County Development Plan. The Sustainable Residential Development and Compact Settlement Guidelines 2024 (Section 3.3.3) would define Dunshaughlin as a “Large Town” (5000+ population) and the subject site is located in an area coming under the definition of “urban extension” (greenfield lands at the edge of existing built-up footprint). The Guidelines states that in such areas, residential densities in the range of 30 dph to 50 dph (net) should be applied to make efficient use of serviced, zoned land.

The overall development (of which the subject site forms part) that was approved under Strategic Housing Development Ref. ABP-307244-20 has a net development site area of 5.808 hectares and a total of 211 residential units were granted at a density of 36.33 dwellings per hectare (dph).

The revisions now proposed comprise 15 no. houses to be constructed in place of 36 no. apartments (blocks D & E) previously approved. This would reduce the overall number of units in the development from 211 to 190 resulting in a revised density of 32.71 dph. The proposed density remains comfortably within the range of 30 dph to 50 dph specified in the Sustainable Residential Development and Compact Settlement Guidelines 2024 and is therefore an efficient use of serviced, zoned land.

06. DISTINCTIVENESS

The proposed amendments have been designed to integrate seamlessly with the fabric, character and distinctiveness of the approved overall development. The proposed amendments include for a centrally located, pocket park open space that will provide an attractive and functional amenity locally for this part of the overall development and will contribute to sense of place and identity, see Fig. 19.



Fig. 19 – CGI showing proposed pocket park public open space located centrally in the subject site and overlooked from proposed housing from the North and South and approved housing from the West.

07. LAYOUT

The layout of the proposed amendment is dictated by the boundaries of cells accommodating apartment blocks D & E in the original design. However, the orientation and location of the proposed houses, use of dual frontage elevations and ends of terraces and quality landscaping all work together to create attractive people-friendly streets.

08. PUBLIC REALM

The amendments proposed do not in any way affect or reduce the public open spaces approved for the overall development. As outlined earlier herein, a new pocket park open space will be added to the approved hierarchy of public open space within the overall development. Semi-private front gardens with hedgerow and railing boundaries create attractive frontage to the public realm, create clear definition and a buffer between public and private spaces. A landscaping plan is included with this planning application covering the proposed amendments to ensure consistency and integration with what has already been approved.

HOME

09. ADAPTABILITY

The houses have been designed to be adaptable to many needs. For example, each two-storey house type is provided with a large kitchen / dining room to the rear which can also accommodate a modest living space with a separate living room to the front of the house which can be readily re-tasked as a ground floor bedroom without needing structural adaptation.

The homes have been designed drawing on significant experience in recent years in regard to achieving excellent levels of insulation, air tightness, reduction in thermal bridging / lowering heat loss through the building envelope, ensuring quality and efficient ventilation, so that the houses require less energy to run and heat and employ renewable technologies (air to water heat pump), at low running costs. The proposed development will be required to be constructed to Near Zero Energy Buildings (NZEB) standard defined by Part L of the Building Regulations which recently came into force, which sets high minimum standards for the energy efficiency and performance of new dwellings.

10. PRIVACY AND AMENITY

All houses have been provided with private rear gardens than exceed the minimum standards stipulated by the Sustainable Residential Development and Compact Settlement Guidelines 2024 at Table 5.1. See Housing Quality Assessment for individual provisions. The required minimum standard of 16m separation between directly opposing rear windows at first floor level set down in the Sustainable Residential Development and Compact Settlement Guidelines 2024 has been substantially exceeded in all cases to provide adequate levels of privacy.

11. PARKING

The applicable car parking requirement is set down at SPPR 3 of the Sustainable Residential Development and Compact Settlements Guidelines 2024. The subject site falls under the definition of an intermediate / peripheral location and therefore the maximum prescribed standard is 2 no. spaces per dwelling. Proposed houses 17 – 19

Grange Park Drive have each been provided with 2 no. off-street, in-curtilage parking spaces. Proposed houses 20 – 31 Grange Park Drive have each been provided with 2 no. on-street parking spaces.

Each house has a private, ground level open space and therefore, in accordance with SPPR 4 - Cycle Parking and Storage, Sustainable Residential Development and Compact Settlements Guidelines for Planning Authorities, does not require cycle storage spaces.

12. DETAILED DESIGN

The subject site and proposed houses are located within Character Area 2 as defined in the overall approved development and follow the established design approach for this area. Approved Character Area 2 finishes include red brick and ashlar plaster to front and dual frontage elevations as the unifying theme and identity. The use of railings, hedgerows and paving to front gardens are also a feature of Character Area 2, providing attractive, quality and organic boundary to the street edges.



Fig. 20 – CGI showing proposed houses 17 – 19 Grange Park Drive in the foreground at Southern end of subject site with ashlar plaster finish to lower elevations and red brick with limestone surrounds to upper elevations. Also, metal railings and hedgerows to front boundaries.

DEVELOPMENT MANAGEMENT GUIDELINES & STANDARDS

5.0 DEVELOPMENT PLAN DEVELOPMENT MANAGEMENT REQUIREMENTS & PROVISIONS

Note: **This section has been laid out in the same format as the relevant elements at Chapter 11 (Development Management Standards) of the Development Plan to facilitate ease of reference** and to clearly demonstrate how the development management requirements have been met in the design of the proposed development.

11.4 General Standards applicable to all Development Types

11.4.1 Energy Efficiency

The homes have been designed drawing on significant experience in recent years in regard to achieving excellent levels of insulation, air tightness, reduction in thermal bridging / lowering heat loss through the building envelope, ensuring quality and efficient ventilation, so that the houses require less energy to run and heat and employ renewable technologies (air to water heat pump), at low running costs. The proposed development will be required to be constructed to Near Zero Energy Buildings (NZEB) standard defined by Part L (Conservation of Fuel and Energy) of the Building Regulations which sets high minimum standards for the energy efficiency and performance of new dwellings. The minimum BER rating for proposed houses will be A2. An Energy Statement has been prepared for the proposed houses and is included with the planning application.

Sustainable Urban Drainage Systems (SuDS) measures form part of the design, see engineering drawings and report prepared by Waterman Moylan Consulting Engineers, included with this application.

11.4.2 Access for All

The proposed development has been designed to comply with the requirements of Part M (Access and Use) of the Building Regulations.

11.4.3 Public Lighting

A public lighting design has been prepared for the proposed development, see drawings and report prepared by Coffey Consulting, included with this application.

11.4.4 Trees and Hedgerows

There are no existing trees or hedgerows within the red line boundary area, i.e. the subject site. A proposed landscaping scheme has been prepared outlining new tree and hedgerow planting design for the proposed revised layout within the subject site.

11.5 Residential Development Standards

11.5.2 Urban Design & Detailed Design

As required, Section 4 of this design statement sets out how the development accords with the 12 key principles of good urban design as set out in the Urban Design Manual.

This design statement has also been prepared to include the information required as set out in Development Plan Objective DM OBJ 13.

11.5.3 Density

Dunshaughlin is designated as a “Self-Sustaining Growth Town” in the Regional, Spatial and Economic Strategies (RSES) and the Meath County Development Plan. The Sustainable Residential Development and Compact Settlement Guidelines 2024 (Section 3.3.3) would define Dunshaughlin as a “Large Town” (5000+ population) and the subject site is located in an area coming under the definition of “urban extension” (greenfield lands at the edge of existing built-up footprint). The Guidelines states that in such areas, residential densities in the range of 30 dph to 50 dph (net) should be applied.

The overall development (of which the subject site forms part) that was approved under Strategic Housing Development Ref. ABP-307244-20 has a net development site area of 5.808 hectares and a total of 211 residential units were granted at a density of 36.33 dwellings per hectare (dph).

The revisions now proposed comprise 15 no. houses to be constructed in place of 36 no. apartments (blocks D & E) previously approved. This would reduce the overall number of units in the development from 211 to 190 resulting in a revised density of 32.71 dph. The proposed density remains comfortably within the range of 30 dph to 50 dph specified in the Sustainable Residential Development and Compact Settlement Guidelines 2024.

11.5.4 Plot Ratio

Plot ratio is calculated by dividing the gross buildings floor area by the site area. The Development Plan maximum plot ratio is 1.0 for housing at edge of town locations (DM OBJ 15).

The overall development approved under reference ABP-307244-20 had a gross buildings floor area of 24,256.15m² and a net site area of 58,080m² giving a plot ratio of 0.42.

The revisions now proposed change the overall gross buildings area to 22,279.55m² with the same net site area of 58,080m² giving a revised overall plot ratio of 0.38 which remains well below the Development Plan maximum.

11.5.5 Site Coverage

Site coverage is calculated by dividing the total area of ground covered by buildings by the total ground area within the site. The Development Plan maximum plot ratio of 80% is stipulated in DM OBJ 16.

The overall development approved under reference ABP-307244-20 had a total area of ground covered by buildings of 10,762.19m² and a net site area of 58,080m² giving a site coverage of 18.53%.

The revisions now proposed change the overall total area of ground covered by buildings to 10,246.11m² with the same net site area of 58,080m² giving a revised overall site coverage of 17.64 % which remains well below the Development Plan maximum.

11.5.6 Building Line

The building lines of the proposed houses are very much similar to the approved building lines of the apartment blocks to be replaced, aligned with the creche to the North and parallel to the approved housing to the West as is evident on the revised site layout plan.

11.5.7 Separation Distances

DM OBJ 18 from the Development Plan requires a minimum of 22 metres separation between directly opposing rear windows at first floor level and this standard has recently been reduced by to 16m by the Sustainable Residential Development and Compact Settlement Guidelines 2024. Both standards have been met / exceeded, see dimensioned site layout plan, drawing no. 24020-PL-103.

DM OBJ 21 from the Development Plan requires that a minimum distance of 2.3 metres shall be provided between dwellings for the full length of the flanks in all developments of detached, semi-detached and end of terrace houses. The proposed layout of the houses (single terraces only, no housing blocks side by side) is such that this requirement is not applicable in this case.

11.5.8 Dwelling Design, Size & Mix

There are two house types proposed in the 15 no. houses pertinent to this application, a 3 bedroom dual frontage end-terrace house type (8 no.) and a 3 bedroom mid-terrace house type (7 no.). A Housing Quality Assessment Schedule is included with the planning application. The design of the proposed houses is in keeping with and compliments the approved housing and employs the same materials / finishes palette for Character Area 2 (in which the subject site is located) of the overall development, including ashlar plaster to lower (public) elevations and brick to upper (public) elevations.

The houses have been designed to be adaptable to many needs. For example, house type is provided with a large kitchen / dining room to the rear which can also accommodate a modest living space with a separate living room to the front of the house which can be readily re-tasked as a ground floor bedroom without needing structural adaptation.

Houses have been designed to present active frontages to all public areas using quality materials such as ashlar plaster to lower and red brick to upper front and dual frontage elevations, natural limestone window sills, surrounds and string courses on brick elevations with metal railings with hedgerows to front boundaries with paved driveways, see Fig. 21 below and the CGI pack included with the application.



FIG. 21

11.5.9 Building Height

The Urban Development and Building Height Guidelines relate to much taller development in more populous, central urban areas and as such, are not considered relevant to the proposed development. In response to recommendations made by the Planning Authority during the preplanning process, dual frontage end houses have tall gables with attic windows to provide vertical emphasis and the end of terraces in accordance with good design principles, see example in Fig. 21 above.

11.5.1 Public Open Space

DM OBJ 26 requires a minimum public open space provision of 15% of total site area. Section 5.3.3 (Policy and Objective 5.1 – Public Open Space) of the Sustainable Residential Development and Compact Settlements Guidelines 2024 stipulates a minimum / maximum provision of 10% / 15% of net site area. The net development area of the overall approved development (ABP-307244-20) of which the subject site forms part is 5.808 hectares or 58,080m². The area of public open space provided in the approved overall development is 0.9149 hectares, equating to 15.75% of the net development site area.

The revisions now proposed include a new pocket park public open space centrally located within the subject site with an area of 340m² which marginally increases the overall public open space provision to 0.9489 hectares, equating to 16.33% of the net development site area.

11.5.12 Private Open Space

All houses have been provided with private rear gardens than exceed the minimum standards stipulated by the Sustainable Residential Development and Compact Settlement Guidelines 2024 at Table 5.1. See Housing Quality Assessment for individual provisions.

11.5.13 Boundary Treatments

Boundary treatments, as is the case with the approved overall development, have been carefully considered in the design of the amendments now proposed. Proposed front garden boundary treatments comprise low railings and hedgerows which provide an attractive, organic feeling where housing adjoins the public realm. The nature of the low railings, whilst defining boundaries, is not a significant visual barrier. Continuing the design approach already approved for the overall development, where private open space bounds the public realm, landscaped recesses have been provided, bounded by stone walls, to continue an attractive aspect for passers-by whilst also protecting the privacy of residents. Additionally, in the case of the housing now proposed, pleached tree planting is also proposed behind stone boundary walls to give additional height of boundary in an attractive way along public paths, see Figs. 16, 17 & 18 earlier herein. Dual frontage dwellings have been provided in all cases at the end of streets to ensure active frontage is presented to the public realm at all times, providing attractive, positive aspect and passive supervision. Proposed houses are located close to public paths to create strong, attractive street frontages with modest defensible areas to balance the creation of streetscapes with privacy for residents, per DMURS guidance.

11.5.14 Naming of Residential Development

Naming and numbering has already been approved for the overall development granted under reference ABP-307244-20. The approved name that relates to the internal road that will serve the proposed houses is “Grange Park Drive”. The proposed houses will continue the numbering sequence from the houses on the Western side of the road and will be known as numbers 17 – 31 Grange Park Drive.

11.5.15 Art Work

The provision of a piece of public art, sculpture or architectural feature for the overall development is already a requirement per condition no. 26 attached to planning permission ABP-307244-20.

11.5.16 Light and Overshadowing

The private rear gardens to all the houses have good exposure to East and West with over 50% of the private gardens being South facing. Houses are designed with large, well-proportioned glazing to the main living spaces which will deliver good levels of daylight into these areas. The separation distances between proposed houses and to existing houses on either side of the site will ensure that no overshadowing will occur.

11.5.17 Apartments

There are no apartments proposed as part of this planning application.

11.5.27 Waste Management

Each end terrace house type has independent access to their rear private gardens and do not require dedicated bin storage. Each mid-terrace house has been provided with rear access lane shared between two houses, each lane secured by a gate on the Western side of the housing to the internal development road to facilitate ease of access for bins and bikes and therefore do not require dedicated bin storage.

11.9.1 Car Parking Standards

The applicable car parking requirement is set down at SPPR 3 of the Sustainable Residential Development and Compact Settlements Guidelines 2024. The subject site falls under the definition of an intermediate / peripheral location and therefore the maximum prescribed standard is 2 no. spaces per dwelling. Proposed houses 17 – 19 Grange Park Drive have each been provided with 2 no. off-street, in-curtilage parking spaces. Proposed houses 20 – 31 Grange Park Drive have been provided with 2 no. on-street parking spaces.

11.9.2 EV Charging Points

Each house provided with in-curtilage car parking will be pre-wired for future fitting of EV chargers. The 24 no. on-street parking spaces serving the remaining houses will be provided with wiring and ducting to be capable of accommodating future Electric Vehicle charging points, at the rate of 20% of total space numbers (i.e. 5 no. spaces)

in accordance with DM OBJ 94. 2 no. reservation strips have been provided on each side of every 4 no. parking spaces for this purpose as shown coloured orange on site layout plan, drawing no. 24020-PL-102.

11.9.3 Cycle Parking

Each house has a private, ground level open space and therefore, in accordance with SPPR 4 - Cycle Parking and Storage, Sustainable Residential Development and Compact Settlements Guidelines 2024, does not require cycle storage spaces.

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